

**STRATA PLAN OF LOT 1,  
DISTRICT LOT 764,  
NEW WESTMINSTER DISTRICT,  
REFERENCE PLAN EPP102397  
BCGS 92G.035**

**SHEET 1 OF 10 SHEETS  
STRATA PLAN EPS6816**

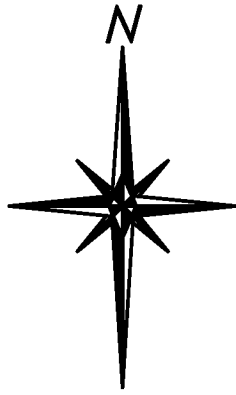
**DISTRICT OF NORTH VANCOUVER**

**CIVIC ADDRESSES:**

SL 1 to 7: 1700 Marine Drive, North Vancouver, B.C.  
SL 8 to 40: 1633 Tatlow Avenue, North Vancouver, B.C.

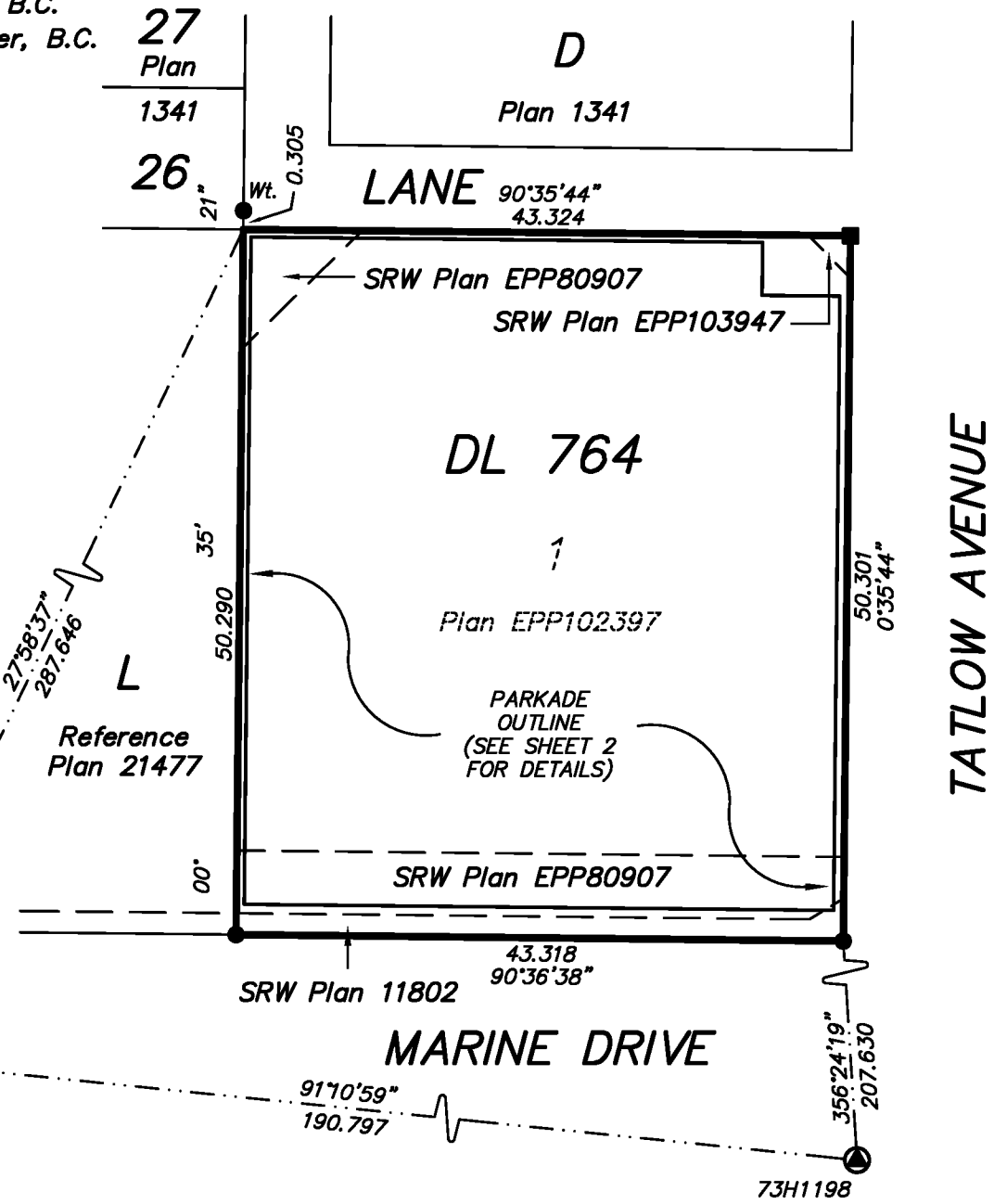


All distances are in metres  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT  
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:500



DATUM: NAD83, (CSRS) 4.0.0.BC.1.MVRD  
UTM ZONE 10  
UTM NORTHING: 5463280.273  
UTM EASTING: 491271.249  
ABSOLUTE ACCURACY: 0.01m

73H1197



DATUM: NAD83, (CSRS) 4.0.0.BC.1.MVRD  
UTM ZONE 10  
UTM NORTHING: 5463276.335  
UTM EASTING: 491461.929  
ABSOLUTE ACCURACY: 0.01m

**LEGEND :**

- ⊙ indicates control monument found
- indicates standard iron post found
- indicates lead plug found
- SL indicates Strata Lot
- LCP indicates Limited Common Property
- LCP-C indicates LCP for Strata Lots 1 to 7
- LCP-R indicates LCP for Strata Lots 8 to 40
- ⊕ indicates Common Property
- ⊠ indicates Common Asset
- ⊕ indicates Handicap Parking Stall being Common Property
- ⊠ indicates Electrical Room being Common Property
- ⊠ indicates Electrical Room being LCP for Strata Lots 8 to 40
- ⊠ indicates Mechanical Room being Common Property
- ⊠ indicates Service Shaft being Common Property
- P17-9 indicates Parking Stall #17 being LCP for Strata Lot 9 (typical)
- S20-8 indicates Storage Locker #20 being LCP for Strata Lot 8 (typical)
- D18 indicates Roof Deck being LCP for SL 18 (typical)
- B19 indicates Balcony being LCP for SL 19 (typical)
- m<sup>2</sup> indicates Square Metres
- Wt. indicates witness

This plan shows one or more witness posts which are not set on the true corner(s).

STRATA LOT BOUNDARIES ARE DEFINED AS FOLLOWS:

0.02 METRES INSIDE THE OUTSIDE FACE OF EXTERIOR WALLS

THE OUTSIDE FACE OF STUDS ON INTERIOR WALLS ADJOINING COMMON PROPERTY,

THE CENTRE LINE OF DEMISING WALLS BETWEEN STRATA LOTS.

Integrated Survey Area No. 16, District of North Vancouver, NAD83, (CSRS), 4.0.0.BC.1.MVRD.

Grid bearings are derived from observations between geodetic control monuments 73H1197 and 73H1198, and are referred to the central meridian of UTM zone 10 (123° West Longitude).

All angles deflect by multiples of 45 or 90 degrees unless otherwise indicated.

The building included on this Strata Plan has not been previously occupied.

Certain parts of the building shown hereon are not within the external boundaries, but appropriate and necessary encroachment agreements with the District of North Vancouver are registered.

The UTM coordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 73H1197 and 73H1198.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.99960235 which has been derived from geodetic control monuments 73H1197 and 73H1198.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 14TH DAY OF MAY, 2020. WILLIAM PAPOVE, BCLS #593

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT

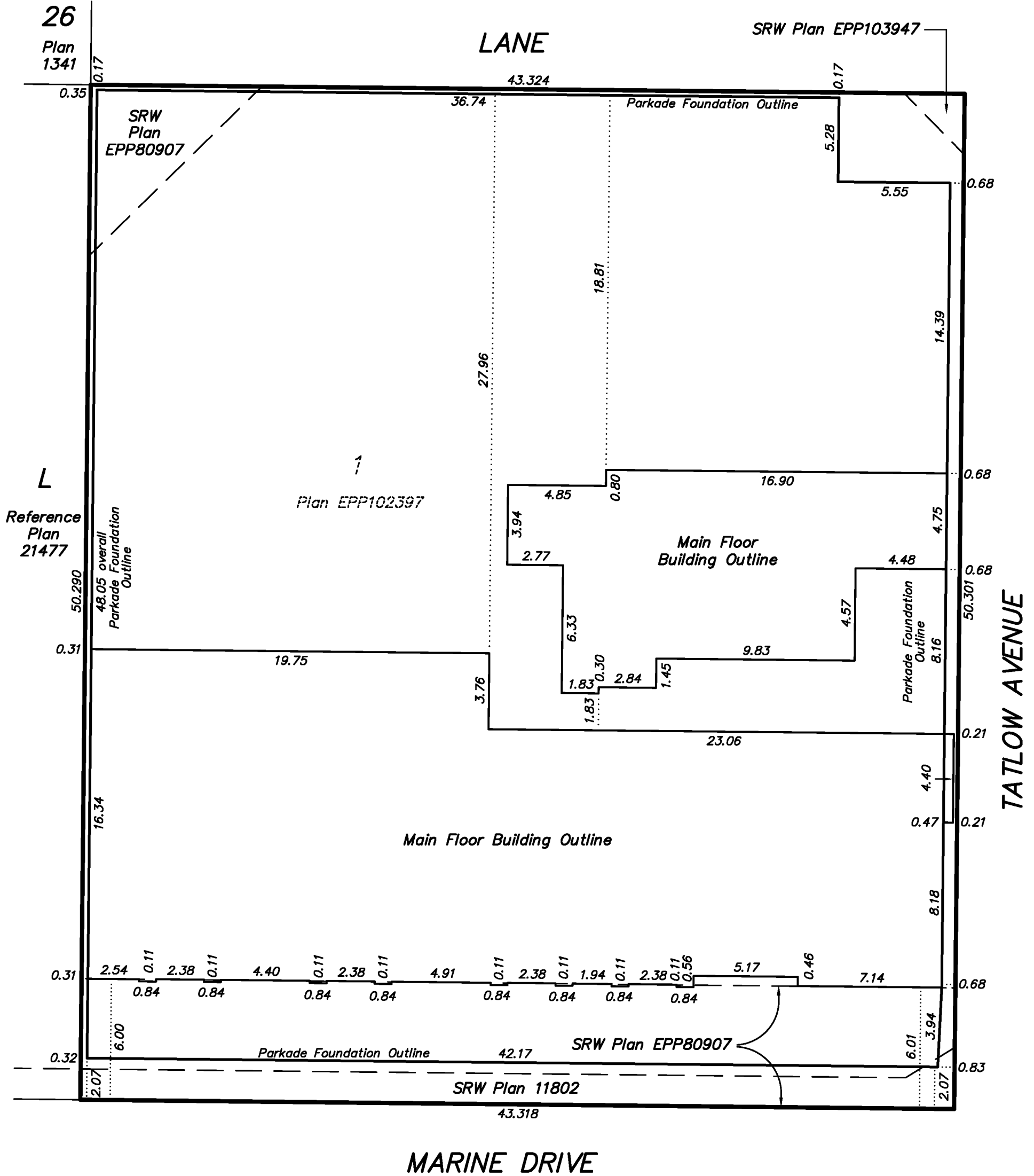
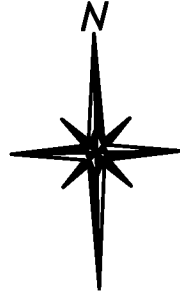
PAPOVE  
PROFESSIONAL LAND SURVEYING INC.  
202 - 1120 WESTWOOD STREET  
COQUITLAM, B.C., V3B 7K8  
TEL : (604) 464-5199  
FAX : (604) 464-6509  
FILE NUMBER : 7332J

# FOUNDATION LOCATION

SHEET 2 OF 10 SHEETS  
STRATA PLAN EPS6816



All distances are in metres  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT  
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:200



PAPOVE  
 PROFESSIONAL LAND SURVEYING INC.  
 202 - 1120 WESTWOOD STREET  
 COQUITLAM, B.C., V3B 7K8  
 TEL : (604) 464-5199  
 FAX : (604) 464-6509  
 FILE NUMBER : 7332J

This sheet shows dimensions to exterior foundation walls.  
 Offsets to property lines are perpendicular thereto and are measured to the exterior face of building foundation walls.

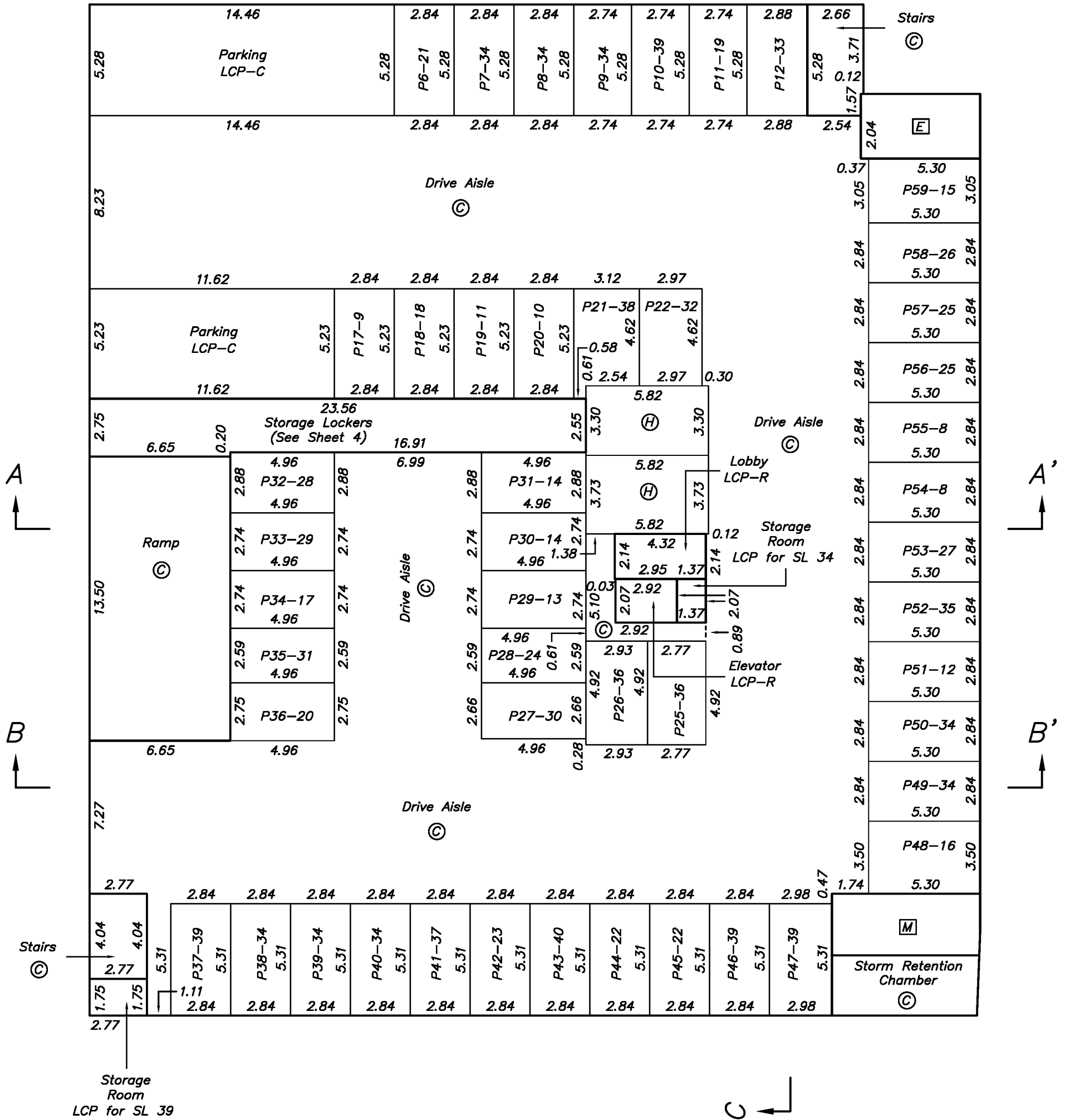
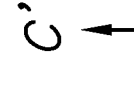
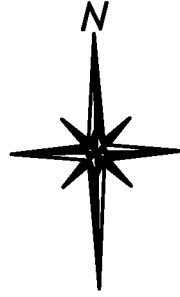
William Papove, BCLS, #593  
 May 14th, 2020

# PARKING LEVEL FLOOR PLAN

SHEET 3 OF 10 SHEETS  
STRATA PLAN EPS6816



All distances are in metres  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT  
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:200



PAPOVE  
 PROFESSIONAL LAND SURVEYING INC.  
 202 - 1120 WESTWOOD STREET  
 COQUITLAM, B.C., V3B 7K8  
 TEL : (604) 464-5199  
 FAX : (604) 464-6509  
 FILE NUMBER : 7332J

All Limited Common Property parking and storage lockers,  
 are defined as to height by the centreline of the floor/  
 ceiling above.

This sheet shows dimensions to exterior of exterior  
 foundation walls and to the centreline of areas of Limited  
 Common Property and Common Property.

Section arrows on this plan point in the direction of view.

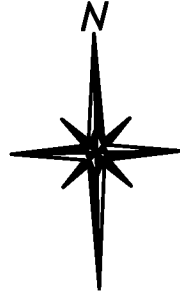
William Papove, BCLS, #593  
 May 14th, 2020

**PARKING LEVEL STORAGE LOCKER ROOM DETAIL**

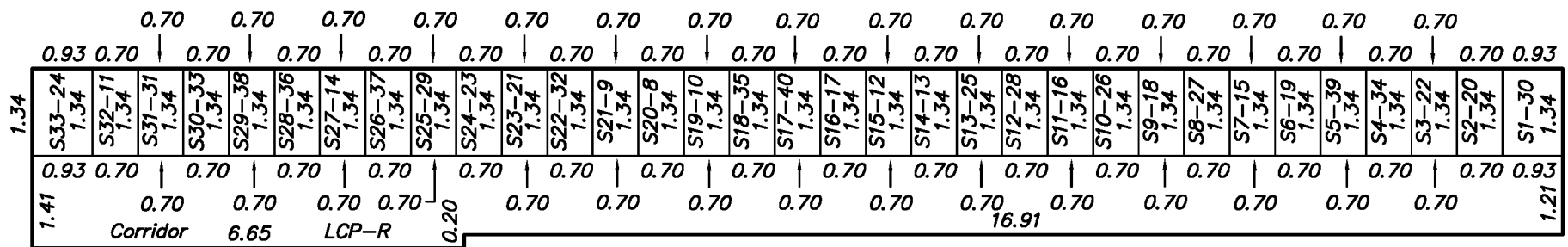
SHEET 4 OF 10 SHEETS  
STRATA PLAN EPS6816



All distances are in metres  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT  
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:100



STORAGE LOCKER ROOM



PAPOVE  
PROFESSIONAL LAND SURVEYING INC.  
202 - 1120 WESTWOOD STREET  
COQUITLAM, B.C., V3B 7K8  
TEL : (604) 464-5199  
FAX : (604) 464-6509  
FILE NUMBER : 7332J

All Limited Common Property storage lockers and corridor, are defined as to height by the centreline of the floor/ceiling above.

This sheet shows dimensions to exterior of exterior foundation walls and to the centreline of areas of Limited Common Property and Common Property.

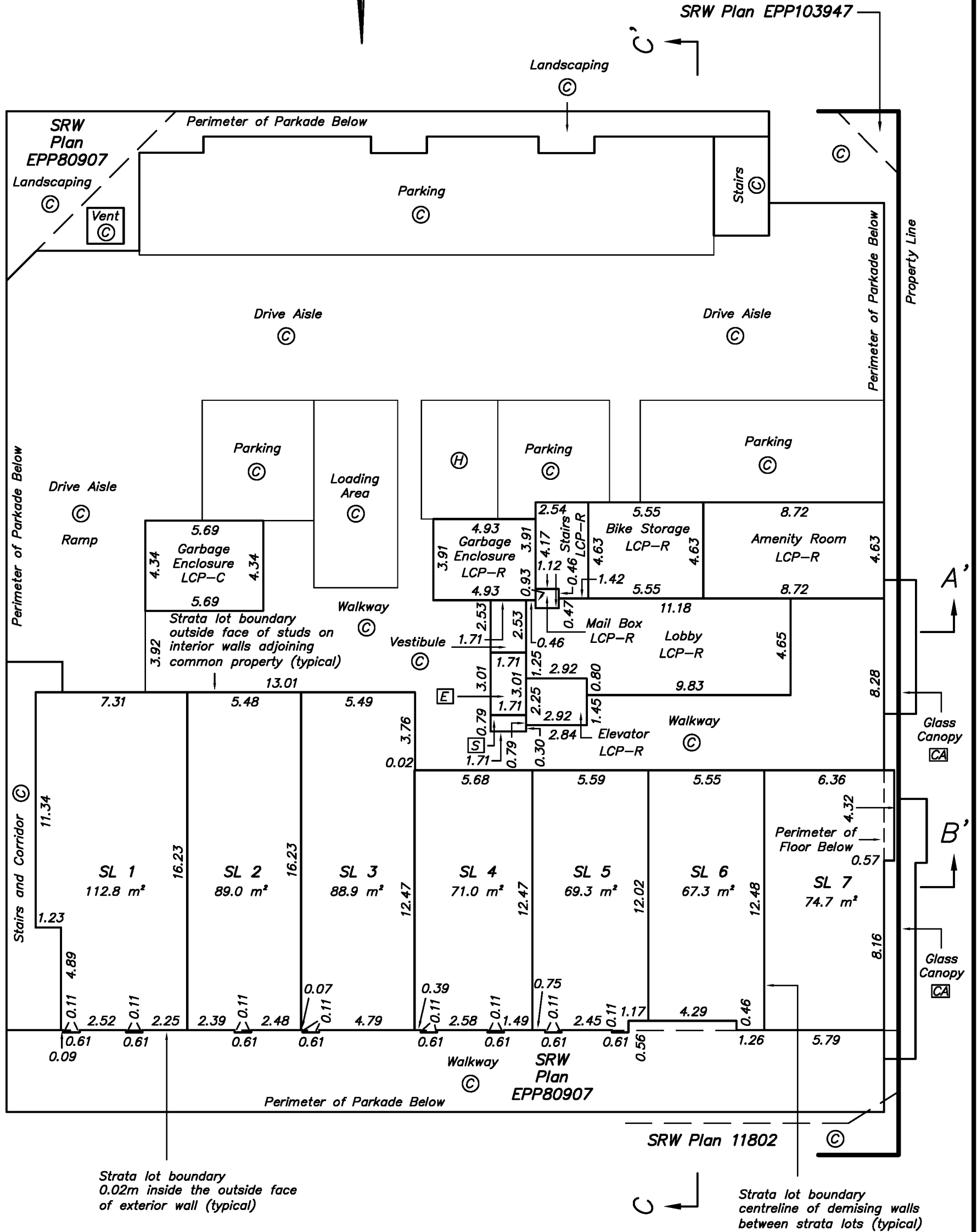
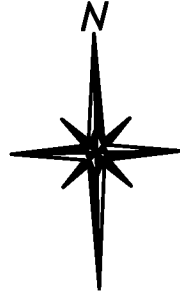
William Papove, BCLS, #593  
May 14th, 2020

# MAIN FLOOR PLAN

## SHEET 5 OF 10 SHEETS STRATA PLAN EPS6816



All distances are in metres  
 THE INTENDED PLOT SIZE OF THIS PLAN  
 IS 280mm IN WIDTH BY 432mm IN HEIGHT  
 (B SIZE) WHEN PLOTTED AT A SCALE OF 1:200



All Limited Common Property areas are defined as to height by the centreline of the floor/ ceiling above.

This sheet shows Strata Lot boundary dimensions to 0.02m inside the outside face of exterior walls, the outside face of studs on walls adjoining Common Property, and the centre line of demising walls between strata lots.

This sheet shows Limited Common Property dimensions to the centre line where adjoining common property.

Section arrows on this plan point in the direction of view.

William Papove, BCLS, #593  
 May 14th, 2020

PAPOVE  
 PROFESSIONAL LAND SURVEYING INC.  
 202 - 1120 WESTWOOD STREET  
 COQUITLAM, B.C., V3B 7K8  
 TEL : (604) 464-5199  
 FAX : (604) 464-6509  
 FILE NUMBER : 7332J

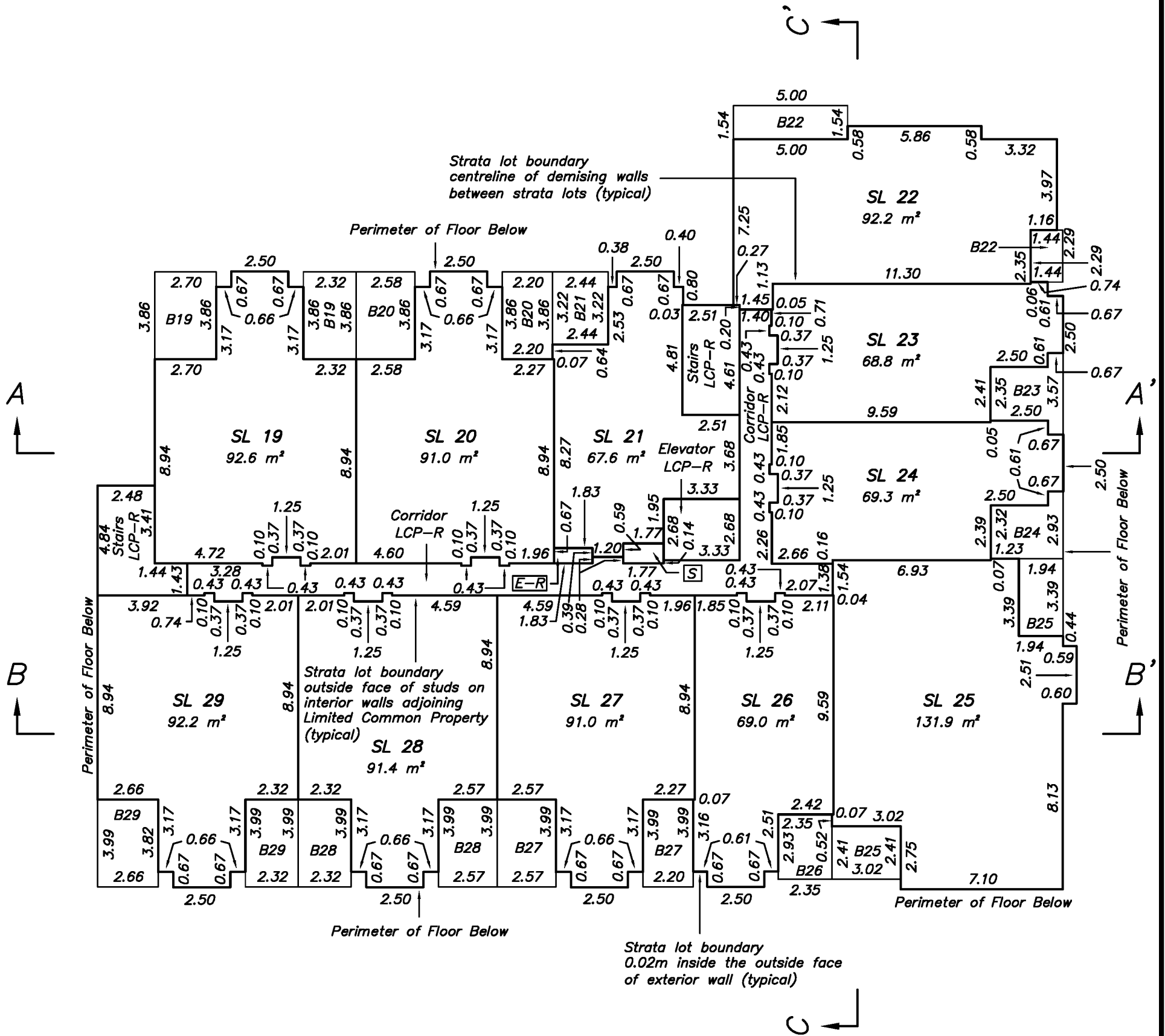
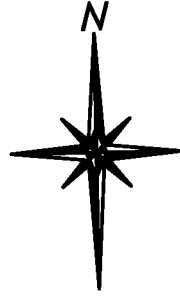


# THIRD FLOOR PLAN

SHEET 7 OF 10 SHEETS  
STRATA PLAN EPS6816



All distances are in metres  
THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT  
(B SIZE) WHEN PLOTTED AT A SCALE OF 1:200



All Limited Common Property balconies are defined as to height by the centreline of the floor/ ceiling above.

This sheet shows Limited Common Property dimensions to the centreline of adjoining Common Property.

This sheet shows Strata Lot boundary dimensions to 0.02m inside the outside face of exterior walls, the outside face of studs on walls adjoining Limited Common Property and Common Property, and the centre line of demising walls between strata lots.

This sheet shows Limited Common Property dimensions to the centre line where adjoining common property.

William Papove, BCLS, #593  
May 14th, 2020

PAPOVE  
PROFESSIONAL LAND SURVEYING INC.  
202 - 1120 WESTWOOD STREET  
COQUITLAM, B.C., V3B 7K8  
TEL : (604) 464-5199  
FAX : (604) 464-6509  
FILE NUMBER : 7332J

Section arrows on this plan point in the direction of view.

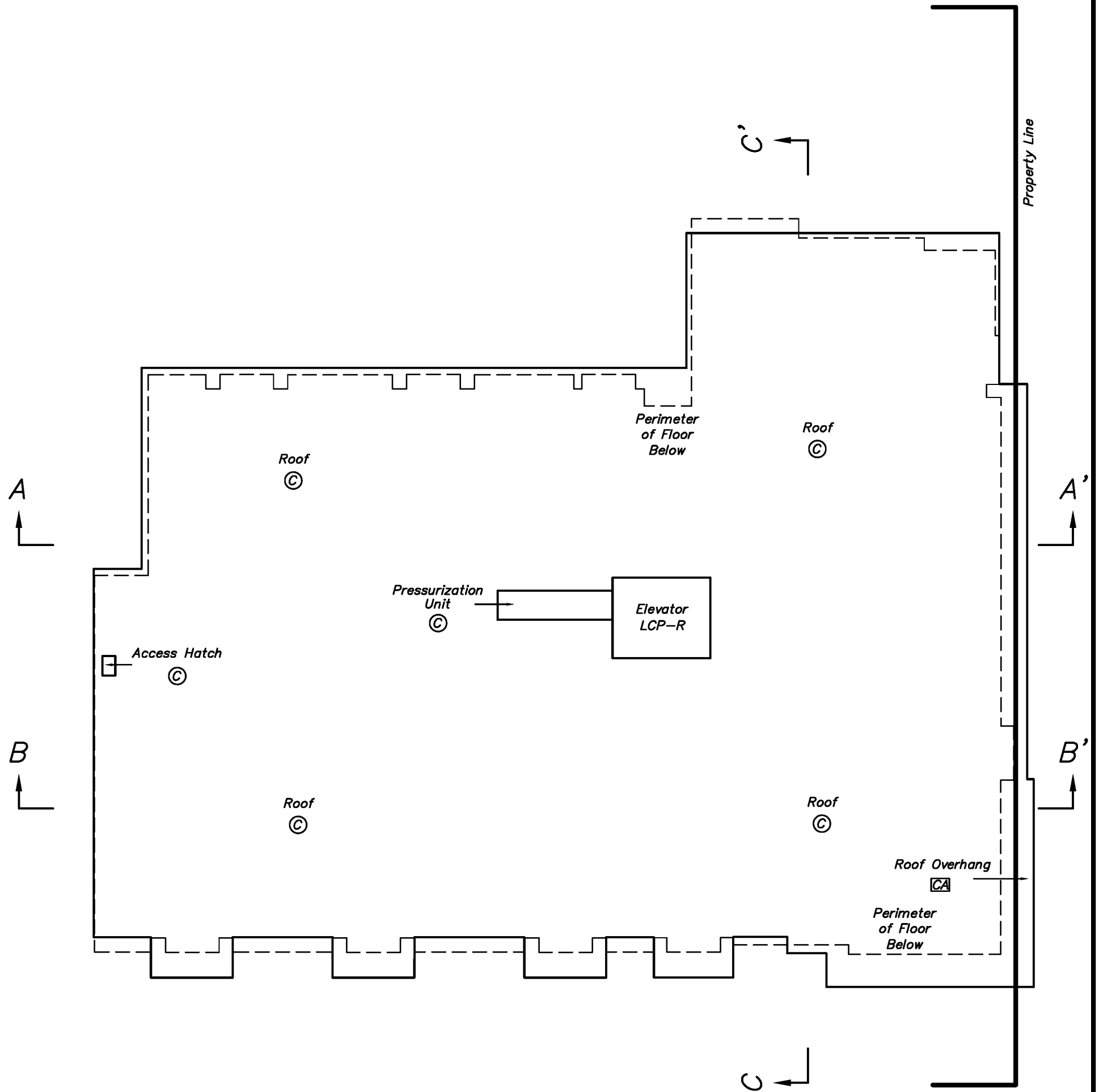
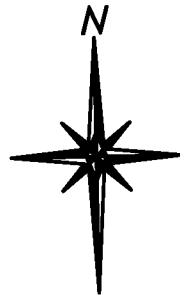


# ROOF PLAN

SHEET 9 OF 10 SHEETS  
STRATA PLAN EPS6816



All distances are in metres  
 THE INTENDED PLOT SIZE OF THIS PLAN  
 IS 280mm IN WIDTH BY 432mm IN HEIGHT  
 (B SIZE) WHEN PLOTTED AT A SCALE OF 1:200



PAPOVE  
 PROFESSIONAL LAND SURVEYING INC.  
 202 - 1120 WESTWOOD STREET  
 COQUITLAM, B.C., V3B 7K8  
 TEL : (604) 464-5199  
 FAX : (604) 464-6509  
 FILE NUMBER : 7332J

Section arrows on this plan point in the direction of view.

William Papove, BCLS, #593  
 May 14th, 2020

# BUILDING SECTIONS

## SHEET 10 OF 10 SHEETS STRATA PLAN EPS6816



All distances are in metres  
 THE INTENDED PLOT SIZE OF THIS PLAN  
 IS 280mm IN WIDTH BY 432mm IN HEIGHT  
 (B SIZE) WHEN PLOTTED AT A SCALE OF 1:300

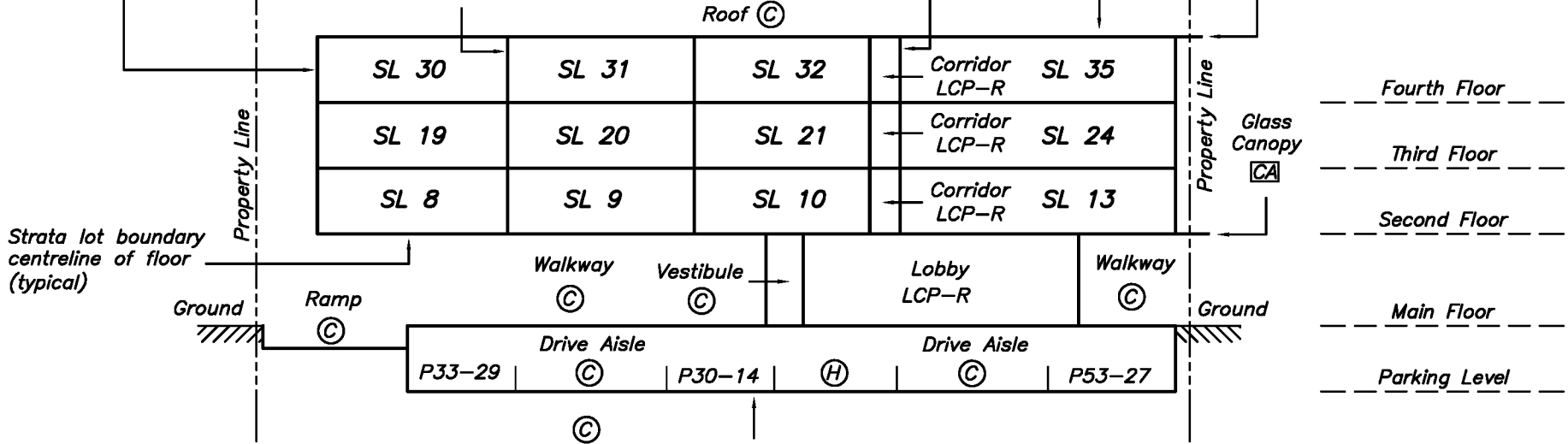
Strata lot boundary  
 outside of studs on walls  
 adjoining Limited Common  
 Property (typical)

### SECTION A-A'

Strata lot boundary  
 0.02m inside the outside face  
 of exterior walls (typical)

Strata lot boundary  
 centreline of demising walls  
 between strata lots (typical)

Strata lot boundary  
 centreline of structural  
 portion of ceiling (typical)



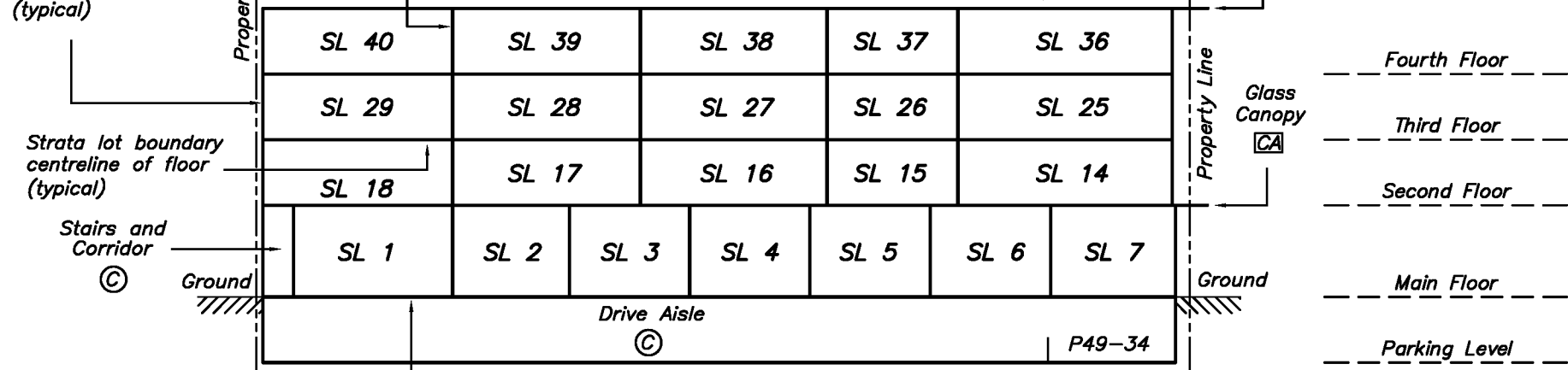
Lower vertical extent of  
 LCP is underside of  
 concrete slab (typical)

### SECTION B-B'

Strata lot  
 boundary  
 0.02m inside the  
 outside face  
 of exterior walls  
 (typical)

Strata lot boundary  
 centreline of demising walls  
 between strata lots (typical)

Strata lot boundary  
 centreline of structural  
 portion of ceiling (typical)



Strata lot boundary  
 centreline of floor  
 (typical)

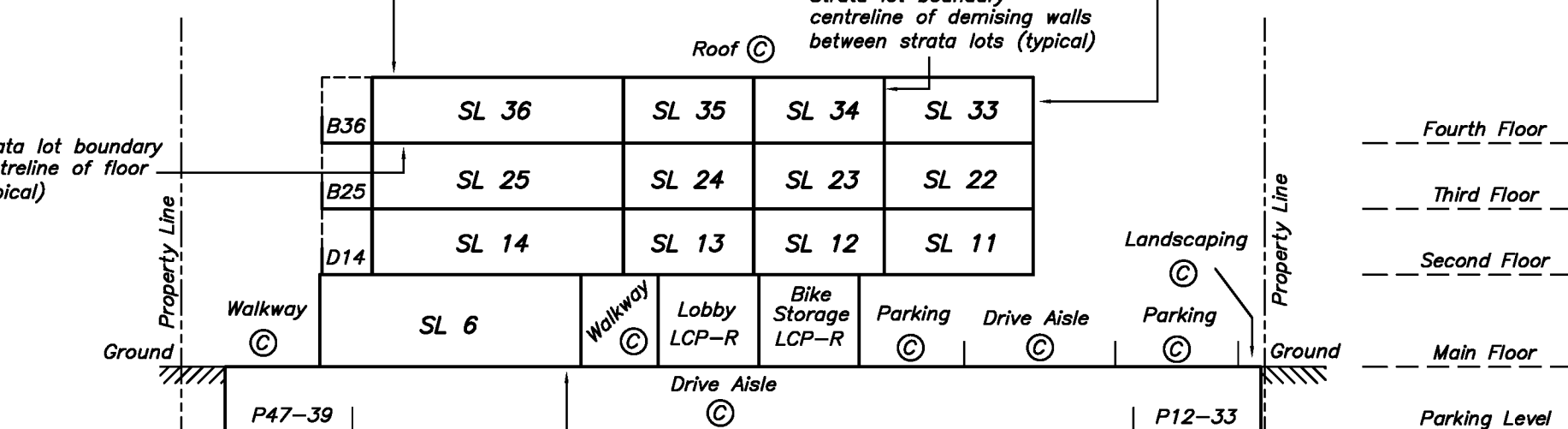
Lower vertical extent of  
 LCP is underside of  
 concrete slab (typical)

### SECTION C-C'

Strata lot boundary  
 centreline of structural  
 portion of ceiling (typical)

Strata lot boundary  
 centreline of demising walls  
 between strata lots (typical)

Strata lot boundary  
 0.02m inside the outside face  
 of exterior walls (typical)



Lower vertical extent of  
 LCP is underside of  
 concrete slab (typical)

Strata lot boundary  
 centreline of floor  
 (typical)

PAPOVE  
 PROFESSIONAL LAND SURVEYING INC.  
 202 - 1120 WESTWOOD STREET  
 COQUITLAM, B.C., V3B 7K8  
 TEL : (604) 464-5199  
 FAX : (604) 464-6509  
 FILE NUMBER : 7332J

All Limited Common Property balconies are defined as to height by the centreline of the floor/ ceiling above or it's extensions, or where there is no floor/ ceiling above, by a height of 3 metres above the ceiling below the Limited Common Property area.

William Papove, BCLS, #593  
 May 14th, 2020